

**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 05

**Applicant:** Mr & Mrs Unsworth

**Location:** Land to the south of Moorbottom Road, Holcombe, Bury, BL8 4NS

**Proposal:** Variation of condition 12 of planning permission 64786 to remove the green sedum seeded roofing system to the agricultural building from the condition.

**Application Ref:** 66503/Full

**Target Date:** 05/04/2021

**Recommendation:** Approve with Conditions

### **Description**

The application site relates to a field which is used for the grazing of animals and is located on a parcel of land which is located in the Green Belt, Special Landscape Area and West Pennine Moors and is within the Holcombe Conservation Area.

The field comprises approximately 4 acres of land in a triangular form which is set on a hillside and forms the lower part of the hill which is locally known as Holcombe Hill, with Peel Monument, a Grade II Listed Building at the summit.

The access to the field is taken from the northern most corner of the field which forms the meeting of three roads, Moorbottom Road, Holcombe Old Road and Cross Lane. Holcombe Old Road runs along the eastern boundary of the field and is at a much lower level to the site. The road comprises a cobbled surface and is used by walkers and residents who live along this stretch, and where there is a row of stone built terrace cottages.

Moorbottom Road forms the western boundary and the highest part of the field and is separated by a dry stone wall. It is an unmade track used by walkers although there are some properties located along this stretch.

Cross Lane leads from the village centre along which are residential dwellings, some of a Listed status or are Non-Designated Heritage Assets (NDHA's).

Permission was granted in July 2020 by Planning Committee for the erection of an agricultural building, retention of a field shelter, pig arc and a replacement gate and gate post (planning reference 64786).

In the meeting, the Planning Committee voted to add condition 12, which required the submission of a landscaping scheme for approval to include native tree and shrub planting and proposals to incorporate a sedum seeded green roofing system to the agricultural building.

The applicant is now seeking to vary condition 12 of the approved application (64786), to remove the reference requiring the sedum seeded green roofing system to the agricultural building as part of the landscaping scheme and to use green fibre sheets alone.

The applicant has submitted a supporting statement for the justification for the removal of the sedum roof.

### **Relevant Planning History**

64786 - Erection of agricultural storage building, retention of field shelter, pig arc and replacement gate & gate post - Approved 29/7/2020.

### **Publicity**

Letter sent on 18/2/21 to 14 properties at Moorbottom road, Holcombe Old Road and Cross Lane.

Site notice posted 26/2/21

Press advert 25/2/21

36 representations received in total.

21 objections received from properties at Holcombe Old Road, Helmshore Road, Lumb Carr Road, Moor Road, Branch Road, Chapel Lane, Westwood Road, with the following comments -

- The agricultural building roof will be highly visible from Moorbottom Road. There's a gap of 3.5m between the stone wall and building. The floor area of the building is huge at 74.23sqm. The roof is bigger and will be an eyesore from the road.
- Tree planting is unlikely to disguise such a prominent building. It is also very likely that the new vegetation will be eaten by the animals. They have already stripped the bark from all the cut branches in the field.
- At the planning meeting Councillors described the proposed building as 'a monstrosity' and a Sedum roof as a way of mitigating some of the considerable problems presented.
- Sedum roofs are widely used as eco-friendly alternatives to traditional roofs. There is absolutely no reason why a Sedum roof cannot be put on this building. This field is at the heart of the Holcombe Conservation area and it is vital that we do all we can to preserve it.
- For what possible reason has the sedum roof proposal been abandoned? Already this site has been desecrated by the alpacas and is an eyesore on what was for many years a beautiful view in this conservation area.
- The application was only granted because 5 conditions were imposed. Several months on and with no change in circumstances the applicant now wants to introduce an unsatisfactory alternative - this makes a mockery of the system.
- Object to the variation of this plan, which will spoil a conservation area and beauty spot which has been enjoyed by locals and visitors for decades. There is no good reason to alter the original agreed plan.
- Trees and the unnatural covering will look inappropriate in this setting
- Artificial material will also discolour with weathering and become an eyesore
- Article 4 - important to keep areas such as Holcombe safe from unsightly development
- Its time to show some backbone lease planning department and stop this maddeness
- Should not be allowed in such a beautiful area and the applicant is playing the development game to in time build a residential dwelling
- Change of roof material from eco-friendly to artificial fibre
- No conditions have yet been satisfied , 8 months on, and the Committee needs to view this context as lack of respect for both the Council and the Community.
- I believe there is time breach of the order to manage animal waste - the manure heap is now twice the size of the original and is sited right in front of the cottages below in Holcombe Old Road stenching the atmosphere.
- This barn will sit right ahead of the view from the Car Park on Lumb Carr Road, under Peel Tower, and walkers from the Car Park will be confronted by its dominance, as they walk all along the ginnel facilitating crossing from Lumb Carr Road to Holcombe Old Road.
- With respect, I ask that all Committee members who agreed to the Case Officer's proposal to accept last July, walk along Moorbottom Road before the planning meeting, to view the current state of Little Holcombe Close, this ancient pasture. All its openness is destroyed.
- Now there is not one, but 3 pig arcs. Are these going to join the barn or litter the field permanently. ? No other sheep in Holcombe require such. The Committee are responsible for this desecration of the Conservation Area, and the foisting on the

Community of a 'Fake Zoo' .

- Visitors will flock, parking on Cross Lane and turning at the junction, changing the nature of this historic beautiful area to everyone's detriment
- On the website of The Royal Horticultural Society there appears a list of the benefits of sedum roofs. Amongst these are- reduced problems of water run off- a significant part of what used to be a lovely meadow is now a quagmire and rainwater from a felt roof is likely to add to the problem; building insulation- improved insulation must be of benefit to the stock; aesthetic benefit - the application site is in a conservation area and is on a main point of access to the National Trust's Holcombe Moor estate, providing habitats for birds and insects and given the location of the site, any measure which encourages wildlife and natural diversity should be encouraged
- Although referred to as fibre sheets in the proposal above, the detailed document describes a corrugated cement construction coloured green, The detailed report cites cost as the driver for this variation. As a resident of this beautiful Article 4 conservation area, I am obliged to replace my windows with wooden ones rather than the much cheaper UPVC variant. I accept this as it maintains the aesthetic appearance of the building.
- Any plantings would soon be eaten by the animals in the field, even if the applicant ever planted them.
- If the applicant will not comply, then the original permission should surely be rescinded.
- The field at the heart of the Holcombe Conservation Area is now a mess and the very least the applicants can do is to replace the large area of meadow that is going to be dug out with the equivalent area of a natural sedum roof on the building. This will allow the building to blend into the meadow when viewed from above.
- The Planning Department should be in the vanguard of promoting these roofs on agricultural buildings particularly in such ecologically sensitive areas as the centres of Conservation Areas.
- Condition 3 specifically requires the full details of the proposed cut and fill works and height and form of the bund - still no details of the intended finish of the structure create by the development - large concrete blocks have been brought to the field which would be wholly inappropriate. The landscaping scheme would not be sufficient to counteract this length and height of structure especially if finished in concrete blocks.
- The applicant submits that the tree and shrub planting proposed in response to condition 12 will be sufficient, yet they do not include any protective fencing to keep their livestock (or the numerous local wild deer) from grazing the planting, very oddly having specifically amended the scheme under revision A of the drawing to remove this vital measure. Details of protective fencing must be included if this scheme is to have any chance of lasting effect. Nor does the submission include "a timetable for implementation and maintenance details" despite this being specifically in the condition.
- The submitted application form refers only to condition 5 presumably in error as it is condition 12 which makes it a requirement of the permission granted by the Planning Control Committee. Given the sensitivities of the site in an especially prominent and public location in the Holcombe Conservation Area, the size and projection of the roof in very full view adjacent the Moorbottom walk makes this a justified and necessary measure.
- May I ask that committee put forward an alternative natural roofing system if the application for a sedum roof is not upheld. I have seen a sedum roof that has lasted if maintained correctly at a minimum effort from the owner, but maybe since this is a conservation area that we are trying to keep as natural as possible then alternative could be suggested.
- Oddly there seems to be a raft of Bury based supporters now popping up on the portal. Granted democratic factors permit far away comments across the Borough - but recent Government legislation states that the Local Community must actively support any planning application. Bar one supporter in Holcombe , numerous Community objections have been lodged - so clearly enthusiasm is absent, and this positive level of opposition should be heavily weighted.
- The whole point of a sedum roof is that the sedum forms a weed-suppressing carpet that insulates, holds water and of course softens the look of a hard roof to better blend into the landscape. never Pesticides are not required. This is one of the few mitigating

points that seemed to justify approval by the Committee trying to reduce the impact of this 'monstrosity', as termed by a Committee Member, regrettably heading to our Conservation Area.

15 letters of support received from Cliff Mount, Falbarn Crescent, Church Street, Haslam Street, Rupert street, Larch Street, Whitehead Crescent, Burrswood avenue, Fernhill Street, Lathomn Street, Cross Lane with the following comments -

- I support the use of green fibre sheets for this agricultural building as it is in keeping with other buildings in the immediate area and will provide an appropriate, easy to maintain animal shelter. The alternative suggestion of a sedum plant roof would be out of place in the landscape and require significantly more structural work creating more disturbance for local residents and animals.
- Nowhere else in the surrounding area are any agricultural roofs of the sedum type. The suggestion was a throw away comment by a councillor at the planning committee and it suddenly became part of the approval, in spite of the recommendation for approval being a conventional roof. If anything a sedum roof will simply draw more attention to the building than take it away
- As having horses myself I do not feel a sedum roof is necessary I have not seen an agricultural build in the area with this type of roof, I ride my horses around and pass this field, there is a big indoor school on the farm next to this land which doesn't have a sedum roof, so do not see the benefits on this building, having a sedum roof I've also noticed other animal housing with no sedum roof, I feel this would be an unfair perusal
- The roof could become unsightly due to over growth of weeds, grass etc drawing more attention to it.
- When the planting of the trees and bushes as stated in the landscaping report are completed the roof will not be visible from Moorbottom Road.
- A sedum roof would not be suitable as it would require extensive structural alterations to the original plan, thus impacting more on the environment. Also, sedum is not a native plant to the area, it would draw attention to the structure and look out of place. The green fibre cement panels would be more in keeping with the surrounding agricultural buildings and would blend in better with the environment.
- The landscape report states there will be planting of various trees and shrubs etc to minimize the appearance which to me shouldn't make a difference. This is agricultural land to have an agricultural building to house animals in winter.
- At the end of the day it is a field that is providing a home for animals, that are looked after well and will be looked after even better with shelter, with a variation from a sedum roof. The owners of this land need to be given the opportunity to provide the best for their animals with support from the people in the area, not shot down at every opportunity. If people just chatted with the owners they would know what was happening instead of criticising.
- Will visually last longer - living roofs don't
- Full support of the variation of material for the roof of the building which is approximately the size of two stables which is to house the five alpacas in winter to keep them from the elements of the weather and to protect the land.
- I have not seen any buildings with a sedum roof in the area, so why is this one needed?
- Why is this being made into a big issue ?

Amended letters sent on 29/3/21 to those originally consulted and those who have made representations to the application, to clarify that the description of the application should refer to Condition 12 (not condition 5), to remove the reference to the sedum seeded roofing system from the landscaping scheme.

Those who have made representations have been informed of the Planning Control Committee meeting.

**Statutory/Non-Statutory Consultations**  
**Conservation Officer** - No objection

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions



## **Unitary Development Plan and Policies**

NPPF	National Planning Policy Framework
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN5/1	New Development and Flood Risk
EN8/1	Tree Preservation Orders
EN9/1	Special Landscape Areas
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
OL4/5	Agricultural Development
OL7/2	West Pennine Moors
EN5/1	New Development and Flood Risk
EN7/3	Water Pollution
EN7/5	Waste Water Management
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt

## **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

### **Principle of the development for the agricultural building**

The principle of the development has been accepted in the grant of planning permission reference 64786.

The issues relevant to this application are focused on the impacts on the visual amenity of the Green Belt, Special Landscape Area, West Pennine Moors and Heritage Assets.

UDP Policy OL4/5 - Agricultural development requires buildings or structures to be sited in a manner to minimise their visual impact on the landscape with regard to height, materials, landform and landscaping, should relate well to existing farm buildings and not have an unacceptable impact on amenity.

UDP Policy EN9/1 - Special Landscape Areas states that development in such areas will be strictly controlled and required to be sympathetic to its surroundings in terms of visual impact. High standards of design, siting and landscaping will be expected. Unduly obtrusive development will not be permitted in such areas.

SPD8 provides more detailed advice on new buildings in the Green Belt and in particular with regards to the siting, position, scale, materials and form of a development.

## **Visual impact**

### **Approved development**

In terms of the approved development, the agricultural building would be positioned at the top end of the applicant's field set against the dry stone boundary wall. The land at this point would be cut away and the building would be set into the sloping landform.

The earth from the cut and fill operation would be used to create a shallow mound or bund which would be moulded and shaped into the land to blend with the existing topography.

The agricultural building at a maximum height of 4m and length of 12m would be of a simple appearance, constructed of timber boarding with a monopitched roof.

The debate centres on whether the sedum green roof is necessary, essential and reasonable to provide to deem the agricultural building as acceptable in terms of its visual impact.

#### Applicant's case

The applicant has submitted a supporting statement to justify the removal of the green sedum seeded roofing system to the agricultural building from condition 12 (landscaping). For clarity, it is proposed to utilise green coloured fibre sheets.

The justification is summarised as follows:

- The sedum roof would require a more expensive form and significantly more robust construction in order to support the heavier roof material which would also be difficult to maintain in good condition.
- The proposed fibre cement roof sheeting would be an appropriate material for this type of agricultural building. With a matt finish, the roof would be a non-reflective material in a soft green to blend into the landscape.
- The roof would have a mono-pitched design, tilting westwards and therefore the roof plane would not be visible from the east.
- Views from the south and north would be oblique and views further reduced by the planted mound/bund.
- The roof would be seen from Moorbottom Road to the west, but not from a significant stretch of this road.
- There would be no views of the roof from paths around Peel Tower.
- In terms of colour and texture, a sedum roof would require a different type and finish of landscaping and therefore would not match or reflect the existing vegetation on the surrounding fields or hillside in the vicinity.

The applicant's statement also includes assessment of the visual impact of the proposed build and from which directions the roof would be visible. The tilt of the monopitched roof westwards, the cut and fill operation, the screening of the building by the boundary wall and the topography of the surrounding landform would result in relatively minimal views and the roof would only be perceptible from areas to the east and obliquely from the north and south.

In the assessment of the applicant's case and justification, there are a number of matters to consider.

#### **Assessment of the proposal**

Character of the development - The agricultural building would be a simply designed rectangular shaped build with a sloping monopitched roof and close timber boarded elevations and of an appearance typically used for agricultural purposes found within rural countryside locations. Fibre sheeting is also a commonly used roof material for agricultural buildings and as such considered to be an appropriate solution within Green Belt settings.

It is rare to see sedum seeded roofs to agricultural buildings and there are none in the vicinity. By introducing a more unusual finish to the roof of the agricultural build, it is considered that the proposal would add an uncharacteristic feature, and one which would more likely to draw attention to the building rather than detract away from it's appearance.

Setting and views - The agricultural building would be set into the upper part of the sloping field in a cut and fill engineering operation. The building would be sited close to the western boundary and in front of the stone wall which runs along this length of Moorbottom Road. This would result in the structure nestling within the field. It is also already approved to form a bund which would be moulded within the existing topography to the east of the build

which would emulate the surrounding landform partly screening views from the east and approaches from the north and south. The development includes native tree planting, sporadically planted around the bund and building and along the boundary wall to the west, which would also provide some additional screening of the development.

The roof of the building would have a monopitch slope and from long range views, it would be barely perceptible. As the roof would tilt westwards towards the boundary wall, it would not be visible from the east, and from the north and south it is considered that views would be oblique.

Closer up and from both approaches along Moorbottom Road, the roof would be more visible. However, the build would be sensitively sited in the field, located behind the boundary wall and set into the land and views of the building would only be for brief moments over a relatively short distance along this route. Native planting between the building and western boundary would also partially screen the build.

The building would measure 12m long by 6m wide and 4m at its highest point. For all intents and purposes it would be modest in size for a building for this type of agricultural use and it is considered that the footprint and thereon the roof size would not cover a significantly large area and would not have adverse visual impacts.

#### Practical considerations

The proposal to incorporate a seeded roof would be more impractical to incorporate, adding a heavier load to the build requiring a sturdier structure and more substantial works to form and secure the building within the land. Notwithstanding additional expense, which is not material to this planning application, the engineering operation of constructing the building would likely be more involved. The use of a fibre sheet material would allow the build to be constructed in a more simplistic manner requiring less structural interventions.

In addition, a sedum roof would require more maintenance including watering and re-planting should this ever fail or die-off in the future. A sedum roof is also more susceptible to leakages resulting in damages and rotting of a wooden structure.

#### **Conclusion of visual impact**

It is appreciated that when considering the original application for the development, the Planning Committee wanted to be assured that controls were in place to minimise the visual impacts of the building on the area.

However, on balance, and in consideration of the scale of the building, its sensitive siting and the character and nature of the development, for the reasons above, the requirement to provide a sedum seeded roof would not be necessary or reasonable to render the development as acceptable, and that a fibre sheeted solution would be an appropriate solution.

As such the proposal is considered acceptable and would comply with UDP Policies OL1/2, OL4/5, OL7/2, EN1/1 and EN9/1 and the principles of the NPPF.

#### **Heritage**

Section 66 of the Planning (Listed Building and Conservation Areas) Act 1990 requires LPA's in the exercise of their planning functions to have regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities in the exercise of their planning functions to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

Paragraphs 193 - 194 states that when considering the impact of a proposed development

on a heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Any harm should require clear and convincing justification.

UDP Policies EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control seeks to preserve or enhance the special character or appearance of the area. In considering proposals, regard will be given to factors including the nature of the development in terms of its design and appearance and relationship to the visual qualities of the area.

EN2/3 - Listed Buildings - Actively seeks to safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

In terms of mitigation of visual impact, the approved building would still have the same visibility regardless of the roof type used. From a conservation area perspective the impact on the character and appearance of the conservation area would be neutral by virtue of it being feature of an agricultural building common place on agricultural buildings in rural settings.

It is therefore considered the proposed development would preserve the character of the the Holcombe Conservation Area and protect the setting of Listed Buildings and would therefore comply with the principles of the NPPF and UDP Policies EN2/1, EN2/2 and EN2/3.

**Greater Manchester Ecology Unit** - Whilst not consulted on this application, GMEU have responded to the application for the discharge of condition 12 of planning approval 64786. There are no objections to the part discharge of the planting plan which is using native species appropriate to the area.

GMEU did not recommend the sedum roof but state there would be no objection to the condition being varied to remove this element.

### **Response to objections**

- The application for the discharge of conditions is currently being assessed by the LPA (planning reference 64786).
- In terms of condition 12 for the submission of a landscaping scheme, the applicant has submitted a timetable, to carry out the landscaping in Autumn/Winter 2020/2021 or dependant on the timing of the discharge of condition, in the next first available planting season of Autumn/Winter 2021/2022. The applicant also states the trees would be secured in place by a support stake and protected by a tree guard to prevent animals damaging young trees.
- An objector has asked committee put forward an alternative natural roofing system if the application for a sedum roof is not upheld. It is for Planning Committee to consider the application proposals as submitted. However, Planning Committee can propose an alternative motion on which to vote. Ultimately, as the condition was imposed by Planning Control Committee it is for them to decide if this condition can be varied by allowing a different roof type.
- All other issues raised have been covered in the above report

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. The development shall be carried out in accordance with the schedule of works and timetable submitted for condition 3 of planning application 64786. The Applicant shall notify the Local Planning Authority of the commencement of development and the implementation thereof.  
Reason. In the interests of visual amenity and to protect the setting of the Holcombe Conservation Area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas and OL4/5 - Agricultural Development.
3. Notwithstanding the provisions of the approved plans, no development shall commence unless and until full details of the proposed cut and fill works and the height and form of the bund, including a methodology, together with details of the appearance of any exposed structures, grading and resulting topography of the land on all sides of the cut and fill works and the bund has been submitted to and approved by the Local Planning Authority. The approved details only shall be implemented and approved land form and topography only shall be retained as approved.  
Reason. In the interests of visual and residential amenity and to preserve the setting of the Holcombe Conservation Area, Area of Special Landscape and the character of the Green Belt pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
4. The pig arc hereby approved shall be maintained a matt black colour.  
Reason. In the interests of visual amenity and to preserve the openness of the Green Belt and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
5. The development hereby approved shall be carried out in accordance with the details of the materials submitted for the discharge of condition 5 of planning application 64786, for an external facing material of vertical timber boarding in a dark stained colour and fibre sheeting roof in matt soft green.  
Reason. In the interests of visual amenity and to preserve the openness of the Green Belt and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
6. The development hereby approved shall be carried out in accordance with the details submitted for condition 6 of planning application 64786 for the replacement of the 5 bar steel galvanised gate to the north access of the field, as shown



located on approved plan 'Proposed Location Plan Version 3'. The existing gate posts are to remain and the replacement gate shall be hung on the existing gate posts.

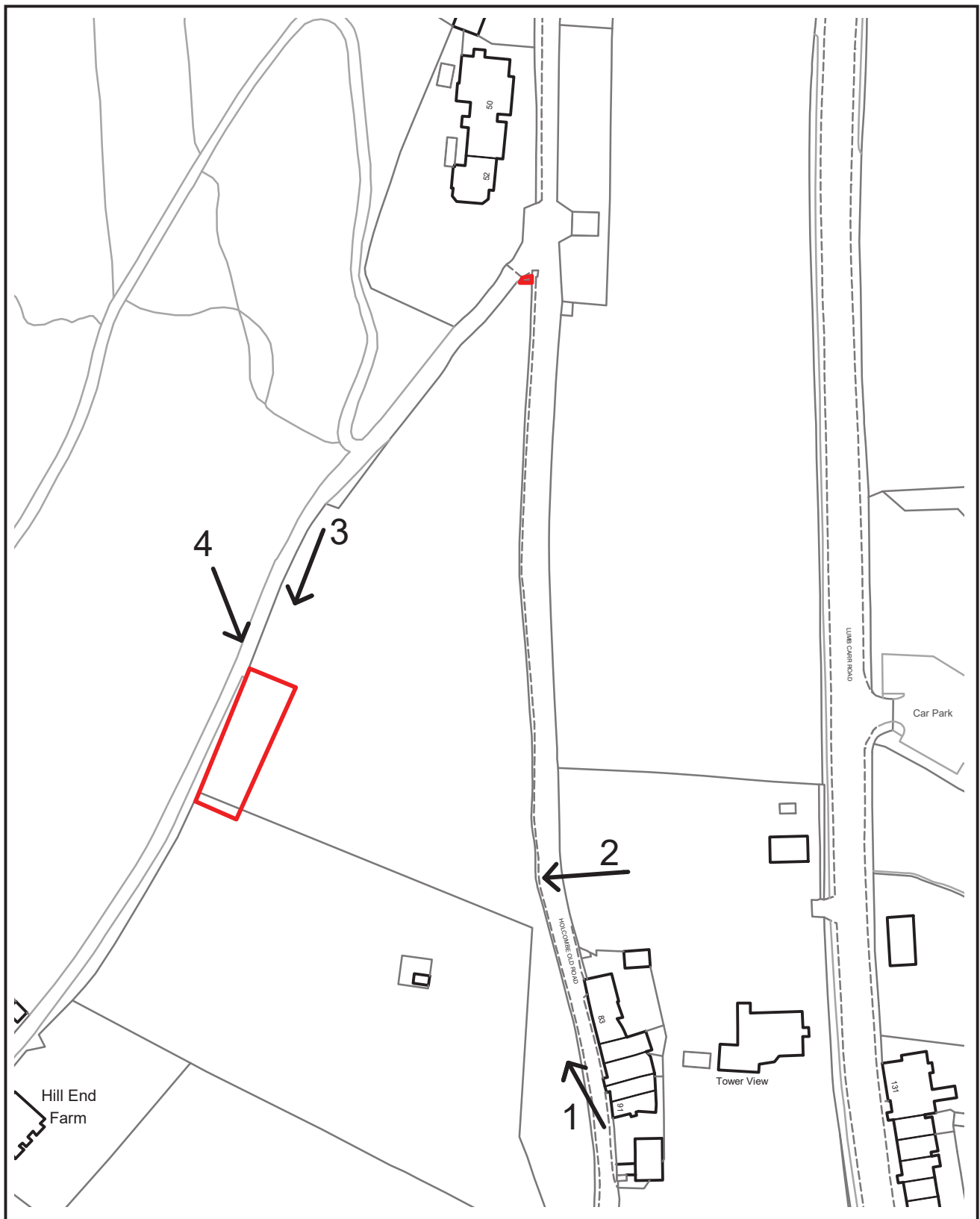
Reason. In the interests of visual amenity and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control and EN9/1 - Special Landscape Areas.

7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Class B of Part 6 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To safeguard and protect the visual amenity and special character of the area to ensure that future inappropriate development does not occur pursuant to policies of the Unitary Development Plan listed.
8. This decision relates to drawings - Proposed Location plan V3; Proposed agricultural building C3956-1-1A; landscape layout 454/01 rev E; Cross sections 454/02 rev A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
9. The development hereby approved shall be carried out in accordance with condition 9 of planning application 64786 to include the provision of a surface water collection tank. The approved scheme only shall be implemented on first use of the development hereby approved and thereafter maintained.  
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
10. The development hereby approved shall be carried out in accordance with the details submitted for condition 10 of planning application 64786 for a Construction Traffic Management Plan  
Reason. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
11. Should the land cease to be used for the agricultural purposes or the structures hereby approved cease to be required or used, the approved structures shall be removed from site and the land re-instated to its former state, and within 3 months of it ceasing operation.  
Reason: In the interests of the visual amenity pursuant to Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas and OL4/5 - Agricultural Development.
12. The development hereby approved shall be carried out in accordance with the details and timetable submitted for condition 12 of planning application 64786 and in accordance with Landscape Layout drawing 454/01 Rev E and timetable for implementation within the first available planting season of Autumn/Winter 2021/2022.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies OL4/5 - Agricultural Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury

Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66503**

**ADDRESS: Land to the south of Moorbottom Road  
Holcombe**

**Planning, Environmental and Regulatory Services**

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**Bury**  
COUNCIL

66503

Photo 1



66503

Photo 2





66503

Photo 3



66503

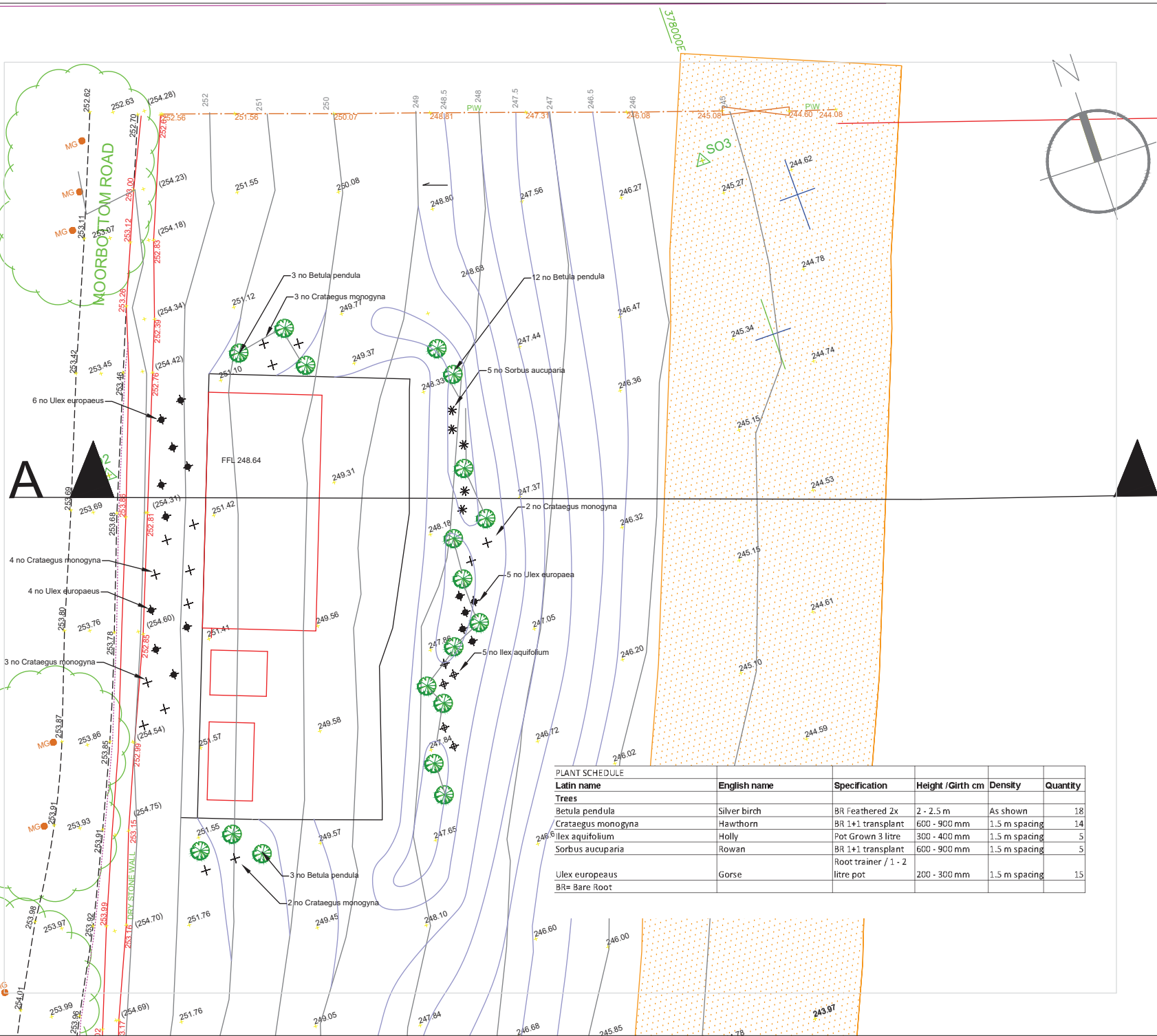
Photo 4



Proposed Location Plan V3
















Grass seed mix: Following completion of works, mounding shall be re-seeded with a seed mix suitable for acid soils such as Heritage Acid Soils 80% Grass Seed Wildflower Mix  
Reference: 130JC4116-PRO by John Chambers wildflower seed,  
[www.johnchamberswildflowers.co.uk](http://www.johnchamberswildflowers.co.uk).  
to be sown at a rate of 5g per m<sup>2</sup>.

See separate specification document for more detail.

#### LEGEND

-  Proposed feathered trees each to be protected by min 1.5 m high tree guard
-  Proposed native tree and shrub transplants each to be protected by min 1.2 m high tree guard
-  Ilex aquifolium / holly
-  Ulex europaea / Gorse
-  Crataegus monogyna / hawthorn
-  Sorbus aucuparia / rowan
-  Wayleave for gas pipe
-  Existing contours
-  Proposed contours

Note: see also drawing 454/02 showing cross sections

PLANT SCHEDULE					
Latin name	English name	Specification	Height / Girth cm	Density	Quantity
<b>Trees</b>					
Betula pendula	Silver birch	BR Feathered 2x	2 - 2.5 m	As shown	18
Crataegus monogyna	Hawthorn	BR 1+1 transplant	600 - 900 mm	1.5 m spacing	14
Ilex aquifolium	Holly	Pot Grown 3 litre	300 - 400 mm	1.5 m spacing	5
Sorbus aucuparia	Rowan	BR 1+1 transplant	600 - 900 mm	1.5 m spacing	5
Ulex europaeus	Gorse	Root trainer / 1 - 2 litre pot	200 - 300 mm	1.5 m spacing	15
BR= Bare Root					

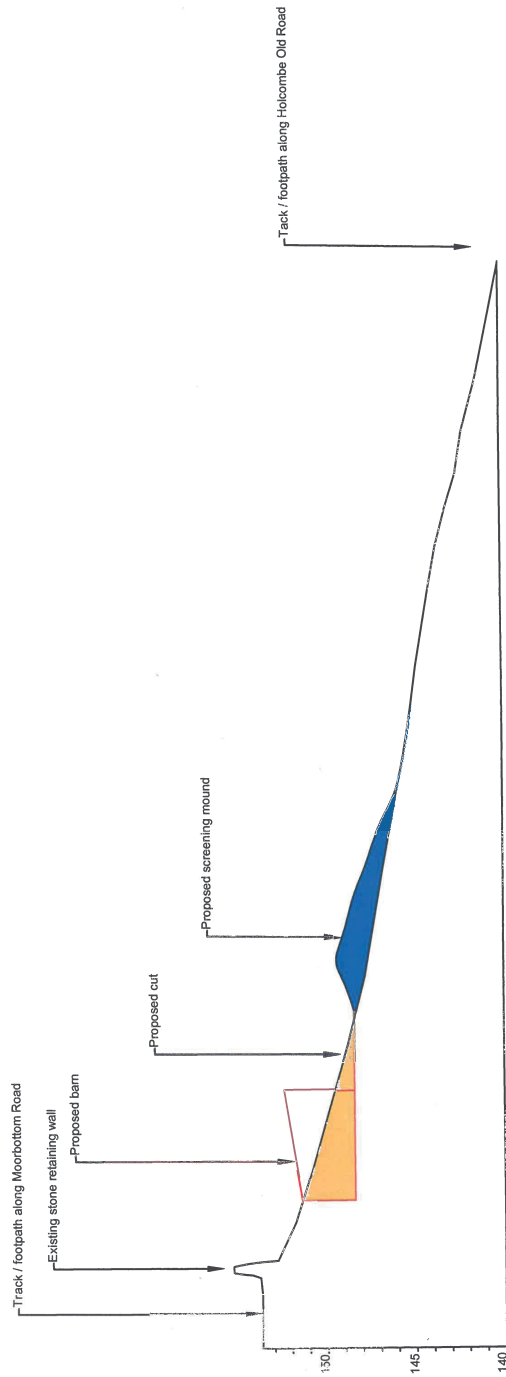
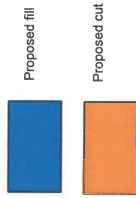
Rev D amendment to mounding, planting added behind stables  
PB 21.1.21  
Rev C amendment to species PB 5.1.21  
Rev B amendment to planting PB 22.2.20  
Rev A Removal of temporary protective fencing PB16.12.20

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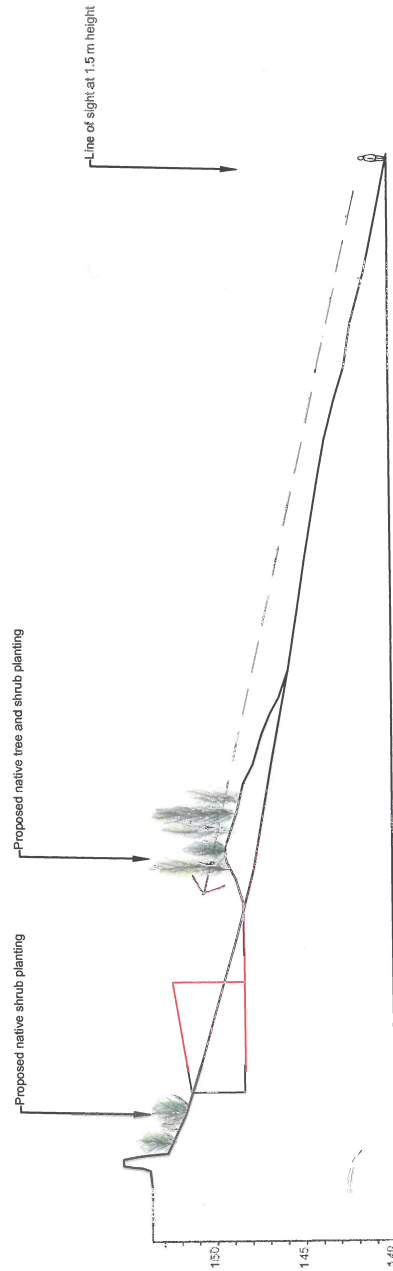
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Job title Drawing No  
BARN AT MOORBOTTOM ROAD, BURY 454/01  
Drawing title  
LANDSCAPE LAYOUT  
Scale @A3 Date DECEMBER 2020 Rev D

LEGEND



SECTION A-A SHOWING PROPOSED EARTHWORKS



SECTION A-A SHOWING PROPOSED PLANTING

Rev A  
Additional annotation, removal of fencing PB 21.1.21

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Job Title  
BARN AT HOLCOMBE  
Drawing No  
454/02

Drawing title  
CROSS SECTIONS  
Scale  
1:200  
Date  
10/12  
Rev  
A